

**SUMMER VILLAGE OF ARGENTIA BEACH  
SPECIAL COUNCIL MEETING  
TUESDAY, DECEMBER 13, 2022 at 10:00 AM  
Summer Villages Office Boardroom  
605 – 2<sup>nd</sup> Avenue, Ma-Me-O Beach, AB**

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**MINUTES**

Present:

**COUNCIL:** Mayor Don Oborowsky  
Deputy Mayor Lisa Turchansky  
Councillor Randy Stebnet

**ADMINISTRATION:** Sylvia Roy, Chief Administrative Officer

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*Council Members may participate in this meeting via electronic communications as per Municipal Government Act S. 199.*

Mayor Oborowsky called the meeting to order at 10:03 a.m.

**A. ADOPT/ AMEND AGENDA**

**Res. #2022-213**

Moved by Deputy Mayor Turchansky to adopt the agenda as presented.

**CARRIED**

**B. APPROVAL OF MINUTES**

1. None

**C. DELEGATES**

1. None

**D. BYLAWS & POLICIES**

1. Bylaw #263, Argentia Beach Land Use Bylaw

Ms. Jane Dauphinee of Municipal Planning Services was present at this meeting.

**Res. #2022-214**

Moved by Mayor Oborowsky that:

The following is a list of proposed amendments to Bylaw No. 263, the Summer Village of Argentia Beach Land Use Bylaw, first read August 30, 2022.

**1. Entire Land Use Bylaw**

- a. Correct typographical errors throughout the document, including incorrect spelling, section references, grammar, and list numbering.
- b. Remove highlighting throughout the document.

**2. That Section 1 – Interpretation be amended as follows:**

- a. Delete definition 59 “Grade (of a Lot)” and replace with: “Grade (of a lot) means see “Lot Grade”.
- b. Insert the following new definition in alphabetical order and renumber the section accordingly:  
““Lot Grade” means the midpoint on the lot. Midpoint refers to the exact middle point on the lot.”

**3. That Section 5.4 – Application Requirements for Development Permits be amended as follows:**

- a. That the following be inserted in 5.4.1(b) and that the remaining subsection renumbered accordingly: “Pre-construction lot elevation at the mid-point of the lot.” “Proposed depth of the foundation, basement, or crawl space in relation to the high-water level of Pigeon Lake (identified as 850.1 m above sea level).”
- b. That the following be inserted as 5.4.1(c) and that the remaining subsection renumbered accordingly: “a post construction lot grading and drainage plan prepared by a registered Alberta land surveyor or engineer.”
- c. That 5.4.2 be deleted and replaced with the following:  
5.4.2: “A Real Property Report prepared by an Alberta Land Surveyor (or some other sketch or form of report prepared by an Alberta Land Surveyor which serves the same purpose as a Real Property Report) shall be required if:

- a. the development includes a new building;
- b. the development includes an addition to an existing building; or
- c. the Development Authority believes that the existing or proposed development identified on the site plan does not accurately correspond with the legal boundaries of the lot.”
- d. That 5.4.7 be deleted and reinserted as 5.4.3 with the following revisions and further, that the remaining subsection renumbered accordingly:

5.4.3 “An application for development permit for a single detached dwelling, garage house suite or garage shall be required to include a post construction lot grading and drainage plan which includes post construction lot elevations for the subject site, and which indicates where the surface water, water from eaves and sump pump water is to be directed both on and off the lot. The surface water from the subject site is not to be directed onto adjoining properties. If the applicant for a development permit indicates that the municipality is to verify compliance with the elevation and/or stormwater management plan, the cost to verify that the lot grades have been completed according to the plan shall be included in the cost of the development permit.”

**4. That Section 5.8 – Development Permit Conditions and Development Agreements be amended as follows:**

- a. Insert the following as 5.8.4:  
“As a condition of issuing a development permit, the Development Authority may require the applicant to post a \$10,000 bond to cover the cost of repairing roads and other municipal improvements damaged as a result of the work authorized in the permit.”
- b. Insert the following as 5.8.5:  
“As a condition of Development Permit approval for developments listed in 5.4.2 and developments that impact lot grading and drainage on a site, the Development Authority shall require that the applicant provide a surveyed drawing which demonstrates that the development on the site, including all buildings and the post construction lot grading and drainage pattern conforms to the drawings approved with the application.”

**5. That Section 9.10 – Grading, Stripping and Drainage on Lots be amended as follows:**

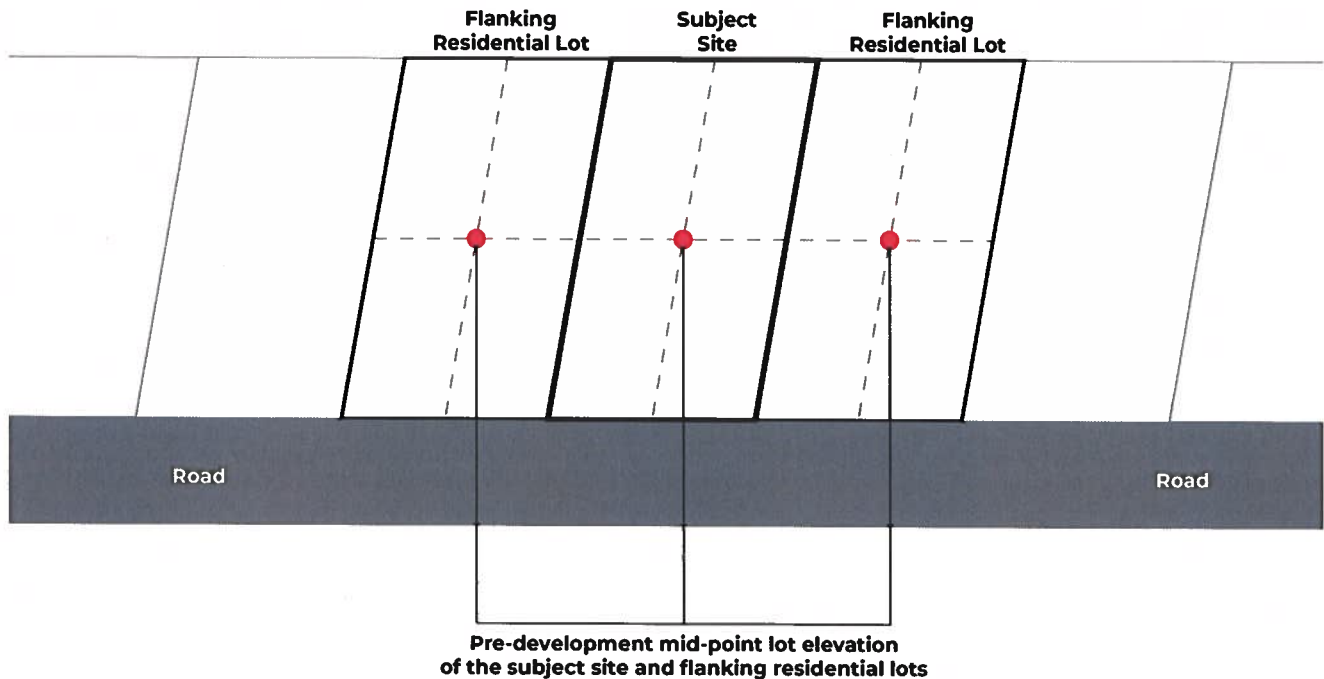
- a. Insert the following as 9.10.3, 9.10.4, and 9.10.5 and renumber the remaining regulations in the section as required:

9.10.3 “The elevation of a lot may be increased (with the approval of the Development Authority) up to a maximum of 300 mm from the lower of:

- a. the pre-development mid-point lot elevation of the lot; and
- b. the pre-development mid-point lot elevation of flanking residential lots.”

9.10.4 “To determine the lowest pre-development mid-point lot elevation, the application must include the following:

- a. the pre-development mid-point lot elevation of the lot for which the development is being proposed; and
- b. the pre-development mid-point lot elevation of residential lots flanking the subject site.”



9.10.5 “Eavestrough drainage should be directed to flow into a retention area on the lot to allow for settlement and then released towards the lake. Surface drainage released from weeping tile systems shall be directed towards the lake.”

**6. That Section 9.20 – Site Coverage and Landscaping be amended as follows:**

- a. Insert the following as 9.20.7 and renumber the remaining regulations in the section as required:  
9.20.7 “The following tree species will be discouraged on lots within the Summer Village: maple, black poplar and elm.”

**7. That the following new section be added as follows:**

- a. Insert the following as Section 9.22 - Storage on a Lot and renumber the remaining regulations in the section as required:  
**9.22 Storage on a Lot**  
9.22.1 “No storage of any kind shall be allowed before, during or after construction within 2.0 m (6.6 ft.) of the edge of the road surface (pavement).”

**8. That Section 11.5 – Development Regulations (R District) be amended as follows:**

- a. Delete 11.5.3 and 11.5.4 and replace with the following:

11.5.3 “Side yards, main buildings: Unless otherwise permitted below, main buildings shall be located so as to give a side yard setback of 2.3 m (7.5 ft).”

11.5.4 “Side yards, accessory buildings: A multi-story accessory building shall be located with side yards as required for main buildings. All other single storey accessory building shall have a side yard of at least 1.5 m (5.0 ft).”

**9. That Section 12.5 – Development Regulations (R1 District) be amended as follows:**

- a. Delete 12.5.3 and 12.5.4 and replace with the following:  
12.5.3 “Side yards, main buildings: Unless otherwise permitted below, main buildings shall be located so as to give a side yard setback of 2.3 m (7.5 ft).”

12.5.4 “Side yards, accessory buildings: A multi-story accessory building shall be located with side yards as required for main buildings. All other single storey accessory building shall have a side yard of at least 1.5 m (5.0 ft).”

**Res. #2022-215**

Moved by Deputy Mayor Turchansky to give Second Reading to Bylaw #263, Argentia Beach Land Use Bylaw, as amended.

CARRIED

**Res. #2022-216**

Moved by Councillor Stebner to give Third Reading to Bylaw #263, Argentia Beach Land Use Bylaw, as amended.

CARRIED

**E. COUNCIL & CAO REPORTS**

1. None

**F. BUSINESS**

1. None

**G. FINANCIAL REPORTS**

1. None

**H. CORRESPONDENCE**

1. None

**I. CLOSED SESSION**

1. None

**J. ADJOURNMENT**

**Res. #2022-217**

Moved by Deputy Mayor Turchansky to adjourn the meeting at 10:12 am.

CARRIED



Donald Oborowsky, Mayor  
Summer Village of Argentia Beach



Sylvia Roy, Chief Administrative Officer  
Summer Village of Argentia Beach